



Conditional Use

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #: <i>PLNPCM2010-00083</i>	Received By: <i>LoPausi</i>	Date Received: <i>2/3/2010</i>	Zoning: <i>CB</i>
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Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: *Trolley Wing Company needs a club liquor license.*

Address of Subject Property:
2148 S. 900 E. Suite #5 SLC, UT 84106

Name of Applicant: *Jess Wilkerson / President TWC* Phone: *801-599-6065*

Address of Applicant:
2833 Washwright Rd. SLC, UT 84109

E-mail of Applicant: *jessejames.wilkerson@gmail.com* Cell/Fax: *801-599-6065*

Applicant's Interest in Subject Property:
 Owner Contractor Architect Other:

Name of Property Owner (if different from applicant):
Bill Grodnik

E-mail of Property Owner: *B.Grodnik@davincivirtual.com* Phone: *801-232-7413*

➔ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

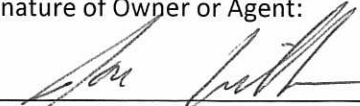
Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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REQUIRED FEE

- ➔ Filing fee of \$728.
- ➔ Plus additional cost of postage for mailing notice.

SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:  Date: *1-15-10*



18 January 2016

To Whom it May Concern:

Trolley Wing Company, located in the popular and trendy Sugarhouse district, needs to obtain a club license in order to stay afloat. Since moving into our new location at the beginning of 2014, our business has both grown and suffered because of restrictions put on our licensing.

For twelve years before moving to Sugarhouse, TWC thrived as a tavern at Trolley Square in downtown Salt Lake City. We successfully maintained a very loyal customer base with countless "regulars" and familiar faces. Our famous wings have always been the buzz talk to bring in new customers, but until our move to Sugarhouse, our clientele was not required to purchase food in order to patronize our establishment. But due to situations beyond control, we were forced to operate under a restaurant license upon moving. Although that enabled us to expand our alcoholic beverage options to include liquor and cocktails, we had to compromise our "local watering hole" feel as a new restaurant.

Despite this new requirement for our customers, many of our regulars maintain their loyalty and continue to visit TWC for wings and a drink. However, we felt a loss in attendance from many familiar faces, because they had always known TWC to be a place to hang out and just have a drink. Suddenly it was a place they had to go have dinner. Although our daily business hours are 11:00 am – 1:00 am, we have lost opportunities with the late night crowds. While operating as a tavern, we were able to draw customers in for a drink after a movie or a Jazz game. This is no longer available to us operating as a restaurant.

Although it would be false to say our clientele hasn't expanded and diversified since moving, it would be accurate to say that customer satisfaction has suffered. For two years since moving in, we have done everything possible to maximize the efficiency of our kitchen and make the most of the small space we have to work. We bought new ovens and doubled our cooking capacity, expanded our menu, increased our staff – but we simply cannot meet the demand of food orders. Even full staff with 8 employees on hand, at our maximum 91 seat capacity, wait times on food orders have taken as long as an hour. This results in irritated customers, and also makes it difficult to keep the 70/30 policy.

A fierce competitor has also recently moved in two blocks away. Buffalo Wild Wings is a similarly styled restaurant with a sports-bar like feel. We have tried to create our own version of that atmosphere, but with already operating at maximum capacity, we are unable to compete. We need something to set us apart from the restaurant that may otherwise leave us in their shadow.

We have talked to neighboring business management such as Smith's Food and Drug, Este Pizzeria and the Nestle ice cream factory, and have received a very positive and supportive response all in all. Our relationships with neighboring businesses has always been a teamwork style, and will continue to be so as we responsibly operate as a private club.

The nightlife in Sugarhouse is so prominent and so important to the economy. Competition is fierce all around us as every bar is packed every night. I know as a successful business owner that TWC would thrive operating as such. Please consider this request as it would inevitably have a positive effect on our local economy.

Respectfully,

Jess Wilkerson, President
Trolley Wing Company



Trolley Wing Company Conditional Use Information

2a) If applicable, what is the anticipated operating/delivery hours associated with the proposed use?

- Monday – Sunday 11:00 am – 1:00 am

2b) What are the land uses adjacent to the property (abutting and across-the-street properties?)

- Smiths Food & Drug, Nestle Ice Cream Factory

2c) How many employees are expected to work on-site during the highest shift?

- 8 employees

2d) If applicable, how many seats will be provided as part of the conditional use?

- 91 seat capacity

2e) Have you discussed the project with nearby property owners? If so, what responses have you received?

- Discussed with surrounding business management and have received an optimistic and supportive response.

5b) Type of construction and list the primary exterior construction materials?

- Cinder block & windows

5c) Number, size, and type of dwelling units in each building, and the overall dwelling unit density?

- 4 tenants total in our building not including TWC
 - Este Pizzeria – approx 3128 sq ft
 - Family Night – approx 1900 sq ft
 - Blackhouse Vapor Company – approx 1875 sq ft
 - Phillip William Salon – approx 1875 sq ft

[16-20-129-023-0000]
DREYER'S GRAND ICE CREAM INC
1 CHECKERBOARD SQUARE
ST LOUIS, MO 63164-0001

[16-20-134-003-0000]
SMITH'S FOOD KING PROPERTIES INC
1014 VINE ST 7TH FLOOR
CINCINNATI, OH 45202-1141

[16-20-130-008-0000]
JLF INVESTMENTS LC
13219 S WOODRIDGE OAK CIR
DRAPER, UT 84020-7149

[16-20-130-005-0000]
LSW INVESTMETNS LLC
5076 S GLENDON ST
MURRAY, UT 84123-4538

[16-20-130-006-0000]
YEE, DORIS S M
PO BOX 963
OGDEN, UT 84402

[16-20-135-008-0000]
910 ELM LLC
3435 CEDAR DR
PARK CITY, UT 84098-5499

[16-20-135-009-0000]
2185 PROPERTIES LLC
3435 CEDAR DR
PARK CITY, UT 84098-5499

[16-20-135-001-0000]
B H ENTERTAINMENT INC
2200 S 700 E
SALT LAKE CITY, UT 84106-1884

[16-20-135-002-0000]
~~B H ENTERTAINMENT INC
2200 S 700 E
SALT LAKE CITY, UT 84106-1884~~

[16-20-135-003-0000]
BLOMQUIST, PHILIP R II
2200 S 700 E
SALT LAKE CITY, UT 84106-1884

[16-20-131-030-0000]
GRODBROS REAL ESTATE LIMITED PARTNERSHIP
LLLP
2148 S 900 E
SALT LAKE CITY, UT 84106-2325

[16-20-130-009-0000]
~~GRODBROS REAL ESTATE LIMITED PARTNERSHIP
LLLP
2148 S 900 E
SALT LAKE CITY, UT 84106-2325~~

[16-20-131-034-0000]
ALARM HOLDING COMPANY
2166 S 900 E
SALT LAKE CITY, UT 84106-2325

[16-20-131-033-0000]
TR4 ENTERPRISES LC
2718 S 900 E #4
SALT LAKE CITY, UT 84106-1367

[16-20-131-029-0000]
YOUNG, GINA P & MARK S; JT
3693 E ASTRO WY
SALT LAKE CITY, UT 84109-3843

[16-20-131-010-0000]
SHAMA, BIANCA
830 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-130-003-0000]
MORETON, JENNY W
833 E ELM AVE
SALT LAKE CITY, UT 84106-1807

[16-20-131-011-0000]
HARRELL, ROBERT V
836 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-130-004-0000]
KAPPUS, ALFRED J & DAVID M; JT
837 E ELM AVE
SALT LAKE CITY, UT 84106-1807

[16-20-131-012-0000]
RETFERD, CAREY J
840 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-131-013-0000]
BREDIN, LINDA A
844 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-131-014-0000]
PAIZ, CATHERINE J
850 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-130-007-0000]
BEINTEMA, HEIDI M
851 E ELM AVE
SALT LAKE CITY, UT 84106-1807

[16-20-131-015-0000]
MCCAULEY, BARBARA L
854 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-131-016-0000]
MORRIS, MARK R
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SALT LAKE CITY, UT 84106-1808

[16-20-131-017-0000]
POE, ALLEN D
866 E ELM AVE
SALT LAKE CITY, UT 84106-1808

[16-20-135-010-0000]
MILLER, MAXI E
922 E ELM AVE
SALT LAKE CITY, UT 84106-2303

[16-20-135-011-0000]
WAAGEN, ANGELA M & KIM C; JT
924 E ELM AVE
SALT LAKE CITY, UT 84106-2303

[16-20-135-012-0000]
SIMES, MAUREEN
932 E ELM AVE
SALT LAKE CITY, UT 84106-2303

[16-20-129-019-0000]
921 PROPERTIES LC
4070 S EVELYN DR
SALT LAKE CITY, UT 84124-2250

[16-20-130-002-0000]
BONDARUK, DALE F
1455 W WASATCH AVE
SALT LAKE CITY, UT 84104-2674

[16-20-129-009-0000]
FARLEY, TAMI
1828 S WASATCH DR
SALT LAKE CITY, UT 84108-3324

[16-20-131-024-0000]
HAGN, EMILY
835 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-131-025-0000]
BETTINSON, CHRISTOPHER R
841 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-131-026-0000]
BRIDGES, EDDIE L
845 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-131-027-0000]
CANNON, MICHAEL D
853 E WILMINGTON AVE
SALT LAKE CITY, UT 84106-1821

[16-20-135-004-0000]
PETERSEN, LEROY
2960 E ROBIDOUX RD
SANDY, UT 84093-1130

[16-20-135-005-0000]
PETERSEN, LEROY; TR
2960 E ROBIDOUX RD
SANDY, UT 84093-1130

[16-20-131-028-0000]
JONES, STEVEN A
3064 S 300 E #1
SOUTH SALT LAKE, UT 84115-3978

[16-20-129-009-0000]
Resident
870 E 2100 S
Salt Lake City, UT 84106-1832

[16-20-129-019-0000]
Resident
880 E 2100 S
Salt Lake City, UT 84106-1832

[16-20-129-019-0000]
Resident
2120 S 900 E
Salt Lake City, UT 84106-2325

[16-20-130-002-0000]
Resident
829 E ELM AVE
Salt Lake City, UT 84106-1807

[16-20-130-005-0000]
Resident
841 E ELM AVE
Salt Lake City, UT 84106-1807

[16-20-130-006-0000]
Resident
847 E ELM AVE
Salt Lake City, UT 84106-1807

[16-20-130-008-0000]
Resident
857 E ELM AVE
Salt Lake City, UT 84106-1807

[16-20-131-028-0000]
Resident
861 E WILMINGTON AVE
Salt Lake City, UT 84106-1821

[16-20-131-028-0000]
Resident
863 E WILMINGTON AVE
Salt Lake City, UT 84106-1821

[16-20-131-029-0000]
Resident
865 E WILMINGTON AVE
Salt Lake City, UT 84106-1821

[16-20-131-033-0000]
Resident
2178 S 900 E
Salt Lake City, UT 84106-2388

[16-20-134-003-0000]
Resident
904 E 2100 S
Salt Lake City, UT 84106-2324

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Salt Lake City, UT 84106-2324

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Salt Lake City, UT 84106-2335

[16-20-135-008-0000]
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Salt Lake City, UT 84106-2303

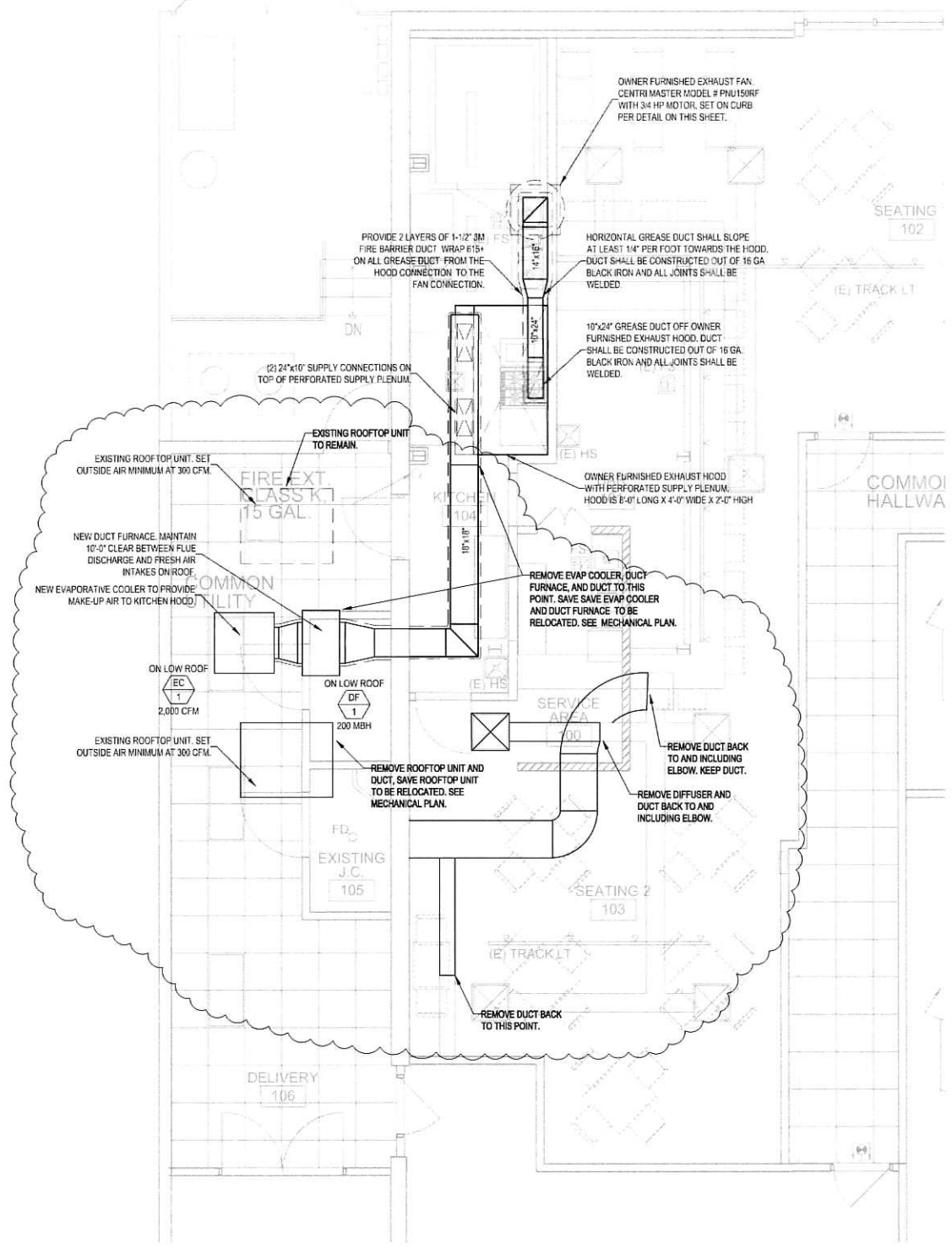
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Salt Lake City, UT 84106-2303

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Salt Lake City, UT 84106-1832

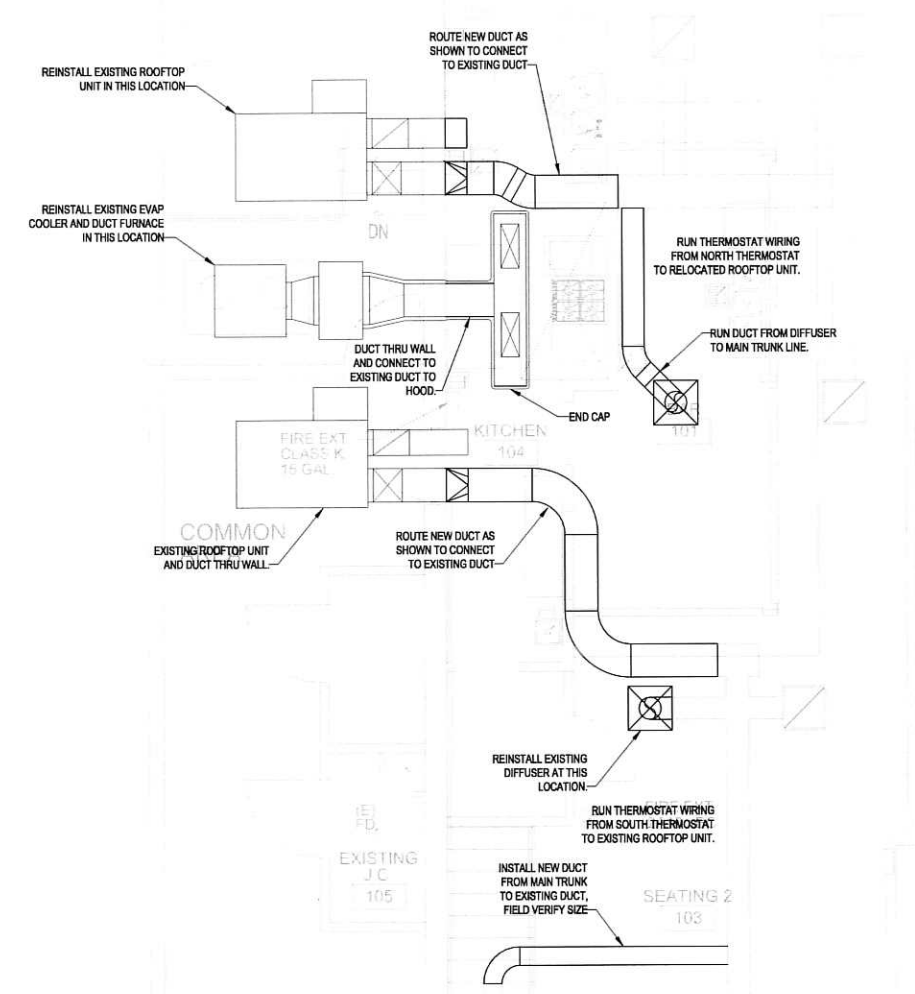
KEYED NOTES

- 1 .
- 2 .
- 3 .
- 4 .
- 5 .
- 6 .
- 7 .
- 8 .
- 9 .

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NORTH
MECHANICAL DEMO PLAN
SCALE: 1/4"=1'-0"



NORTH
MECHANICAL PLAN
SCALE: 1/4"=1'-0"



PERMIT SET

REV.	DATE	DESCRIPTION
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A	6/16/14	RELEASED FOR PERMIT

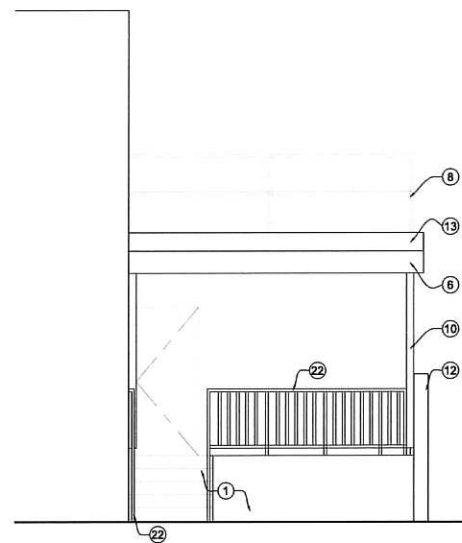


PROJECT NAME:
TROLLEY WING COMPANY

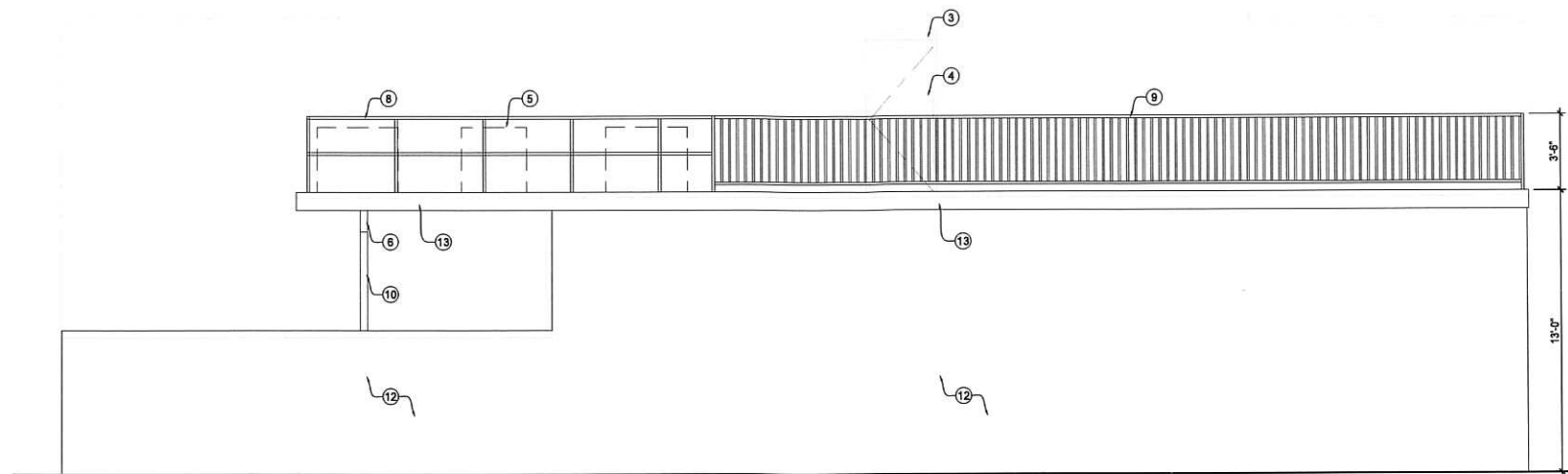
ADDRESS
2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

DRAWING TITLE:
MECHANICAL PLAN

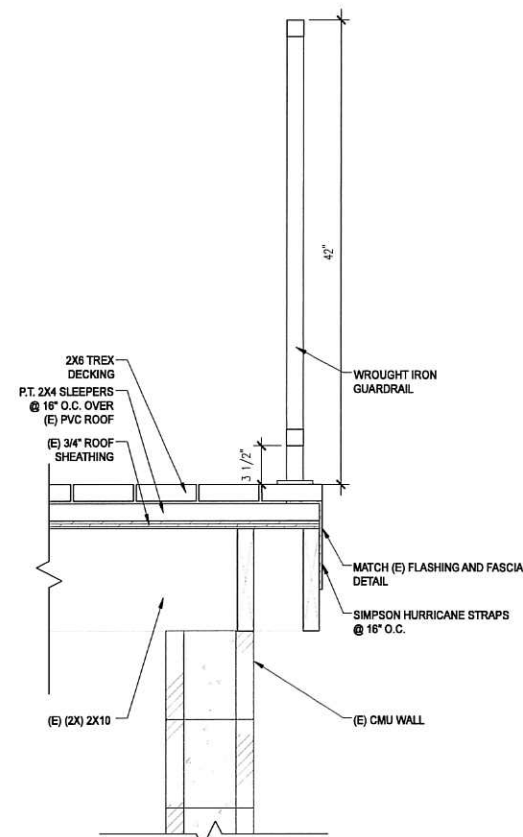
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DATE:	6/16/14	M201
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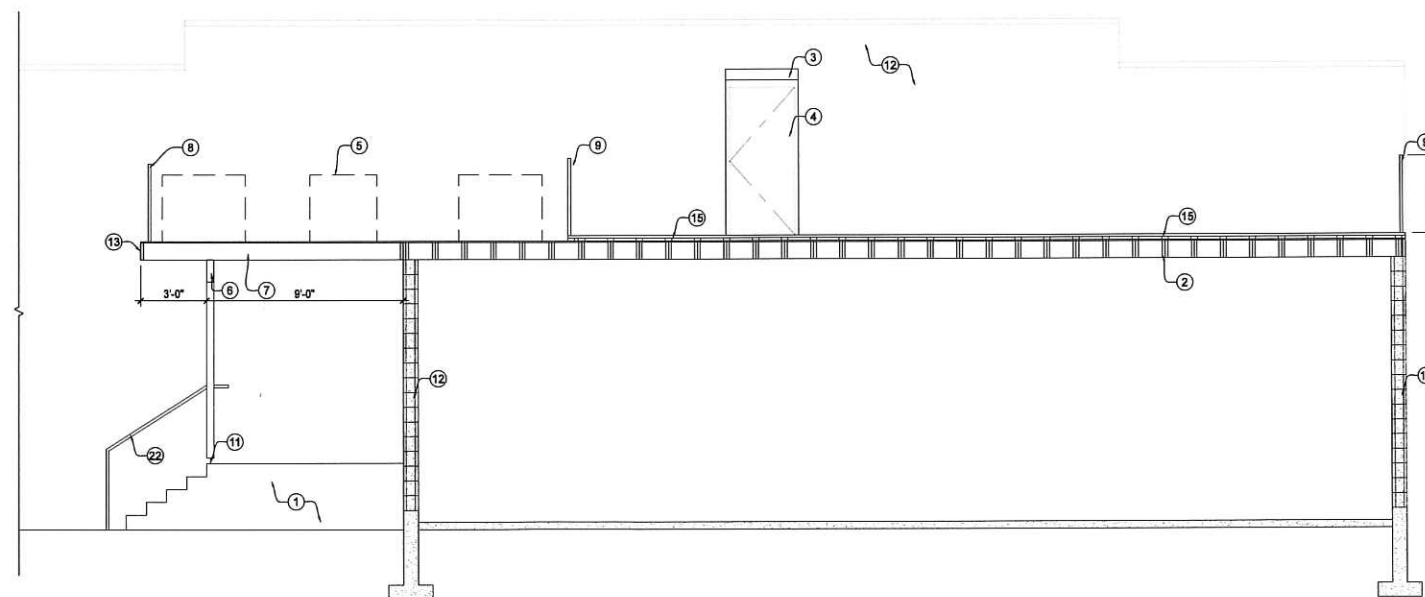
A1
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NORTH ELEVATION
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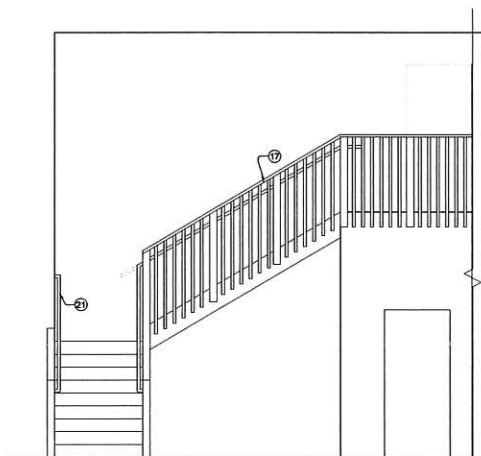
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A2-01
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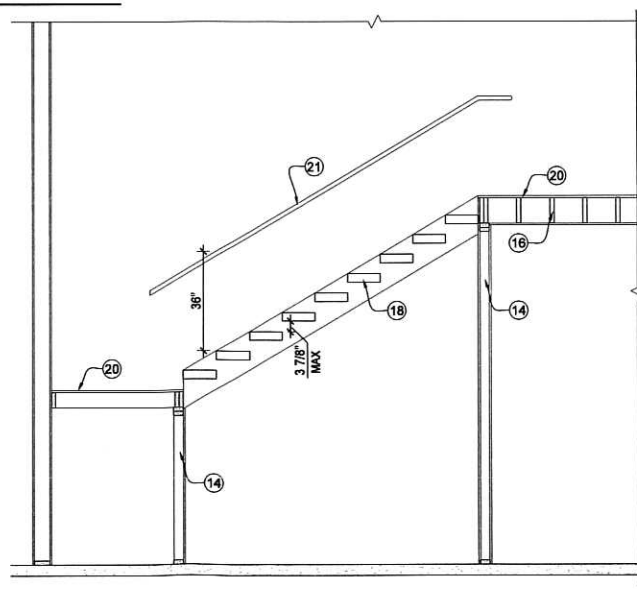
A3
A2-01
ROOF DECK DETAIL
SCALE: 1-1/2"=1'-0"



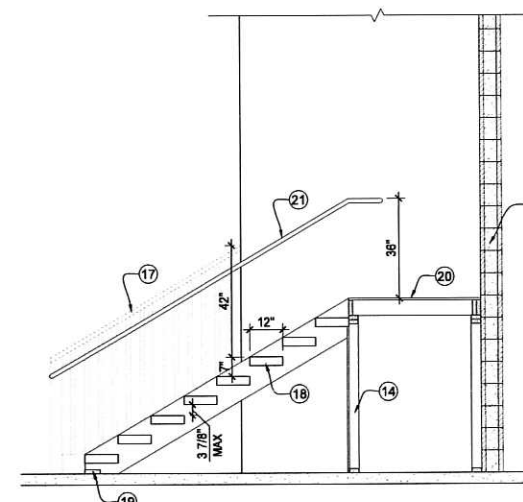
A4
A2-01
SECTION
SCALE: 1/4"=1'-0"



A5
A2-01
STAIR ELEVATION
SCALE: 1/4"=1'-0"



A6
A2-01
STAIR SECTION
SCALE: 3/8"=1'-0"



A7
A2-01
STAIR SECTION
SCALE: 3/8"=1'-0"

REFERENCE NOTES

1. (E) CONCRETE STAIR AND LANDING.
2. (E) ROOF JOISTS TO REMAIN.
3. (N) STEEL ANGLE ABOVE (N) DOOR. SEE STRUCTURAL DRAWINGS.
4. (N) H.M. DOOR AND FRAME (3'-0" X 7'-0").
5. MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS.
6. (N) 4"x12" BEAM, SEE STRUCTURAL DRAWINGS.
7. (N) 2"x10 JOISTS, SEE STRUCTURAL DRAWINGS.
8. 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
9. 42" HIGH WROUGHT IRON GUARD RAIL.
10. (N) 4x4 POST.
11. (N) ELEVATED POST BASE.
12. (E) CMU WALL.
13. MATCH (E) FLASHING AND FASCIA DETAIL.
14. (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
15. (N) TREX DECKING ON 2x4 SLEEPERS OVER EXISTING ROOF.
16. (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
17. (N) 42" HIGH GUARDRAIL.
18. 3-1/8" X 12 GLULAM ATTACHED TO STAIR STRINGER W/ SIMPSON LSS90.
19. (4x) 4" ANCHORS TO CONCRETE.
20. 3/4" OSB FLOOR SHEATHING.
21. (N) STEEL HANDRAIL @ 36" HIGH, SEE DETAILS ON SHEET A1-01.
22. (E) STEEL HANDRAIL AND GUARDRAIL.

STAMP	REVISIONS:
DATE: 06/17/14	SHEET: A2-01
ELEVATIONS AND SECTIONS SCALE: AS NOTED	

TROLLEY WING COMPANY EXTERIOR PATIO ADDITION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

SCOPE OF WORK: EXTERIOR ROOF PATIO ADDITION TO EXISTING RESTAURANT
CHANGE OF USE: NONE

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
FIRE SPRINKLER: Yes
ZONING: CB
PARKING: Existing

EXISTING BUILDING AREA: 12,716 GSF
TENANT SPACE AREA: 1,976 GSF
Occupancy Separation: Existing, Not Required

BUILDING CODE REVIEW:

Tenant Space Area: 1976 sq. ft.
New Roof Patio Area: 480 sq. ft.
Occupant load factor: 15 SF NET / person @ ASSEMBLY
200 SF GROSS/ person @ WORK AREA & KITCHEN
Occupant load: 96 Occupants
Occupancy: A-2
Occupancy Separation: NONE

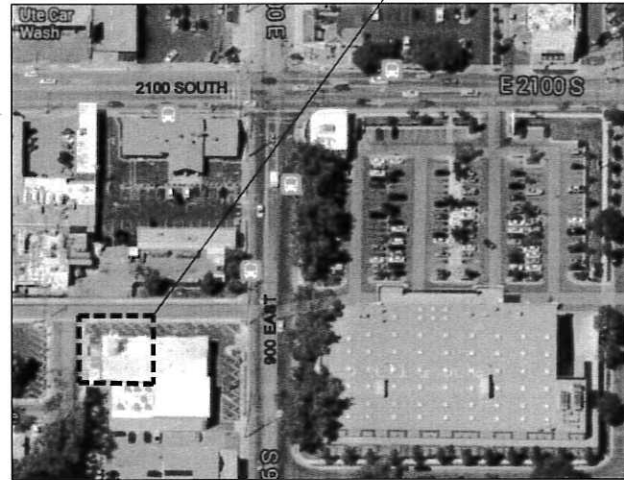
EGRESS REQUIREMENTS:
of exits required (Table 1021.2): 2 exits required w/ 200' max travel distance.
of exits provided: 2 exits provided w/ travel distance less than 200'
Door opening width required: 0.20' x 96 = 19.2"
Door opening width provided: 2 @ 3'-0" = 72"

OCCUPANT LOAD CALCULATION:

AREA	OCCUPANT
SEATING AREA: 885 SF / 15 SF PER OCC.	59
ROOF PATIO SEATING AREA: 480 SF / 15 SF PER OCC.	32
KITCHENWORK AREA: 1,000 SF / 200 SF PER OCC.	5
TOTAL OCCUPANTS	96

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES:

- a) Water Closets (Male/Female) - Required 1/1 Provided 3/3
- b) Lavatories (Male/Female) - Required 1/1 Provided 2/2
- c) Bath Tubs or Showers: 0
- d) Drinking Fountains: 2 Service Sinks: 1



SHEET INDEX

ARCHITECTURAL

SHEET	DESCRIPTION
A1-01	COVER SHEET / PROJECT DATA / INDEX FLOOR PLAN
A2-01	ELEVATION AND SECTION

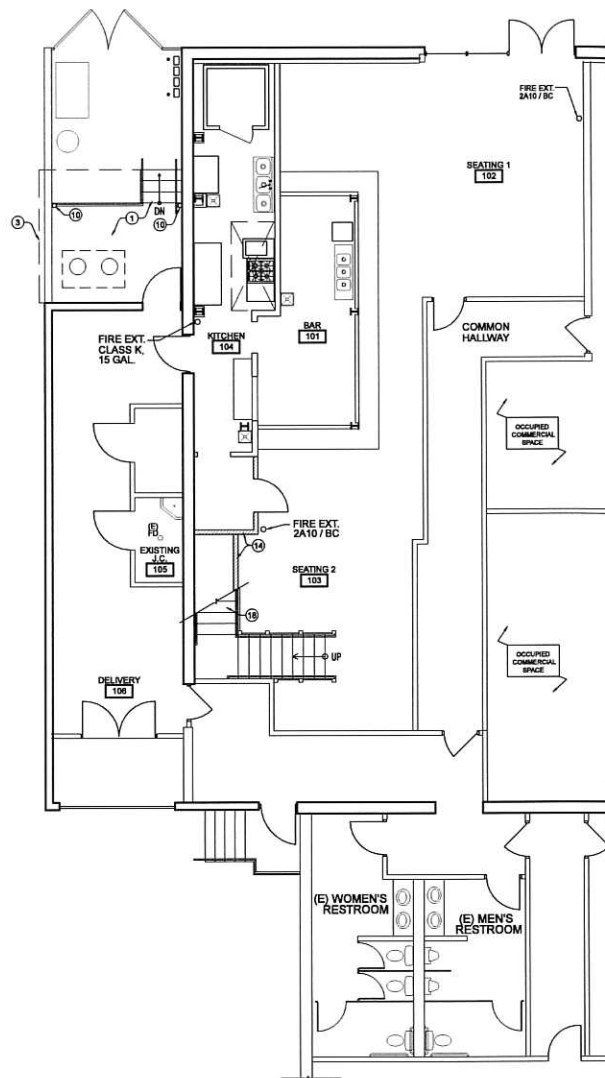
MECHANICAL

SHEET	DESCRIPTION
M201	MECHANICAL PLAN
M202	MECHANICAL ROOF PLAN

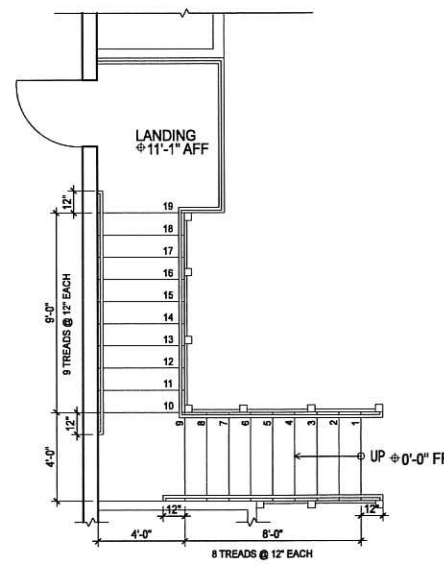
Applicable Codes:

2012 IBC	International Building Code
2012 IMC	International Mechanical Code
2012 IPC	International Plumbing Code
2011 NEC	National Electric Code
2012 IFC	International Fire Code
2009 IECC	International Energy Conservation Code
2009 IEBC	International Existing Building Code
ADA	ANSI A117.1 - 2009
Zoning Ordinance	SALT LAKE CITY Title 21 Zoning Ordinance

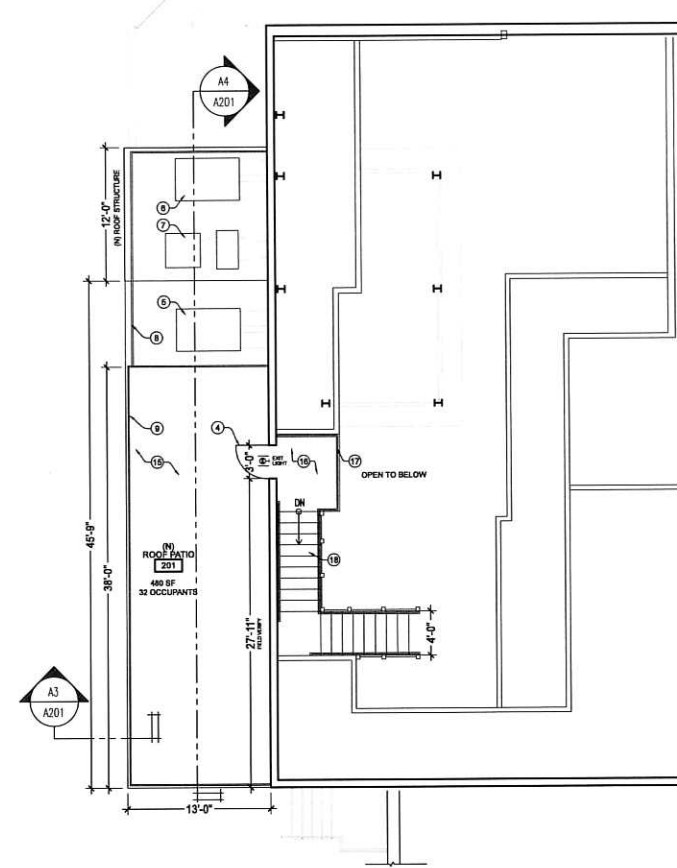
OWNER	HVAC
JESS WILKERSON 2148 South 900 East Salt Lake City, Utah 84106 Tel. (801) 599-6065	JTB Engineering, INC. 10499 S. Brooklyn View Lane Salt Jordan, Utah 84095 Tel. (801) 707-5011 Contact: Jeff Brown



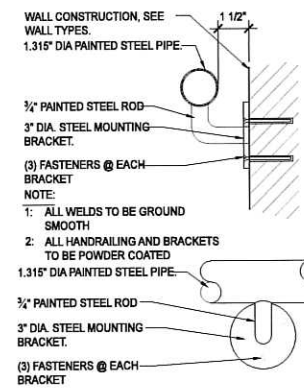
A1
A1-01 FLOOR PLAN
SCALE: 1/8"=1'-0"



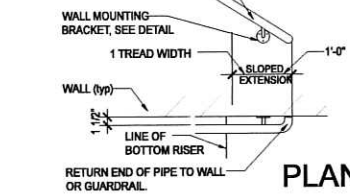
A3
A1-01 ENLARGED STAIR PLAN
SCALE: 1/4"=1'-0"



A2
A1-01 LOWER ROOF PLAN
SCALE: 1/8"=1'-0"



ELEVATION



A4
A1-01 HANDRAIL DETAIL
SCALE: 1/8"=1'-0"

- REFERENCE NOTES
- (E) CONCRETE STAIR AND LANDING.
 - (E) COLUMN.
 - LINE OF (N) ROOF ABOVE.
 - (N) H.M. DOOR AND FRAME (3'-0" X 7'-0").
 - (E) RTU TO REMAIN. SEE MECHANICAL DRAWINGS.
 - (N) LOCATION OF (E) RTU. SEE MECHANICAL DRAWINGS.
 - (N) LOCATION OF (E) EVAP COOLER. SEE MECHANICAL DRAWINGS.
 - 42" HIGH STEEL GUARD RAIL (REQ. FOR MECHANICAL EQUIPMENT).
 - 42" HIGH WROUGHT IRON GUARD RAIL.
 - (N) 4X4 POST.
 - (N) ELEVATED POST BASE.
 - (E) CMU WALL.
 - (E) CONCRETE STAIR.
 - (N) WOOD STUD FRAMING W/ 5/8" GYP BOARD, PAINTED.
 - (N) TREX DECKING ON 2X4 SLEEPERS OVER EXISTING ROOF.
 - (N) LANDING. MATCH HEIGHT OF EXISTING ROOF.
 - (N) 42" HIGH GUARDRAIL.
 - (N) STAIR. SEE STAIR SECTIONS ON SHEET A2-01.

SYMBOL LEGEND

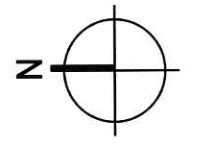
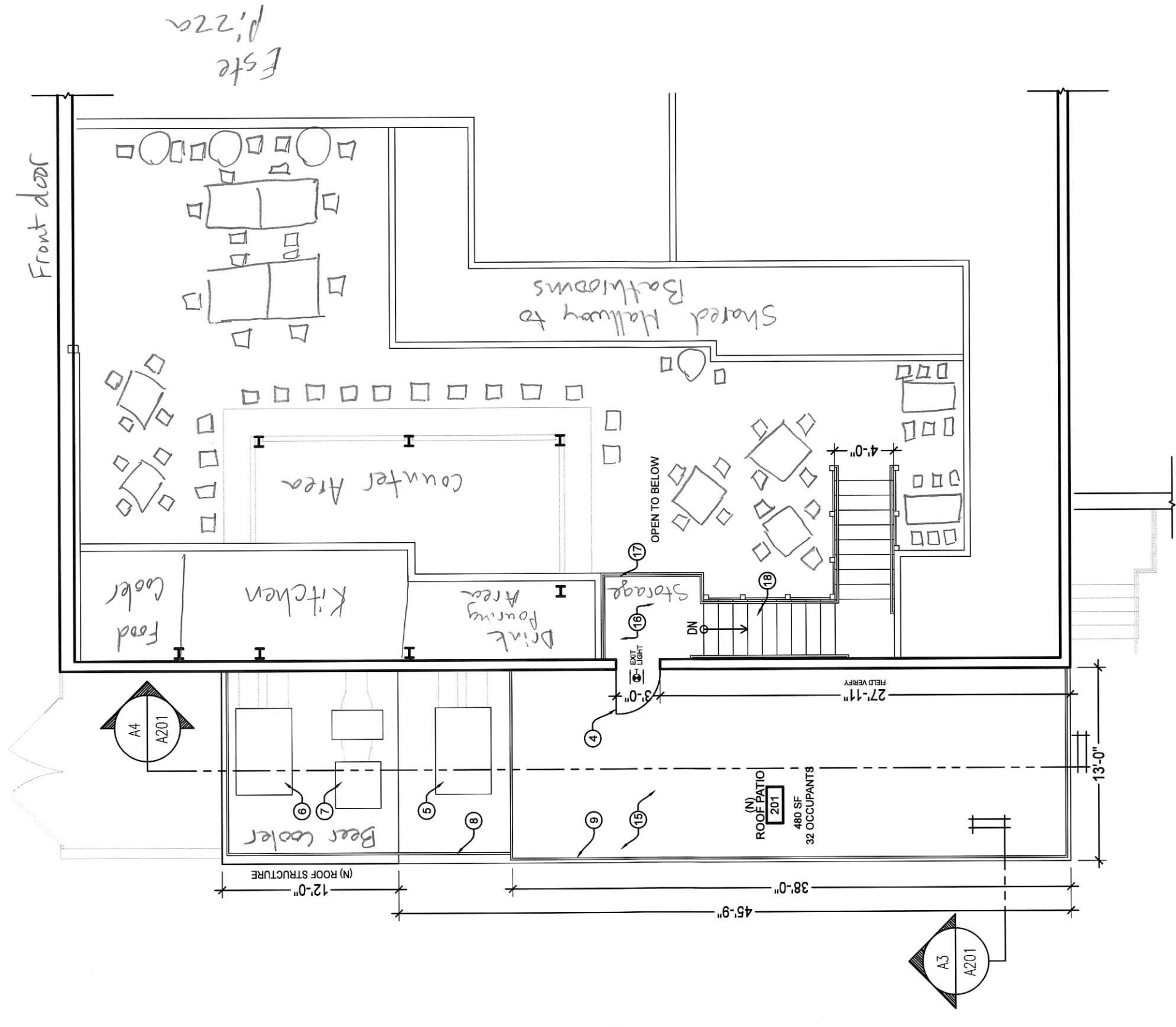
(E) EXTERIOR WALL
(E) INTERIOR WALL
(N) WOOD STUDS INTERIOR WALL
(E) EXISTING
(N) NEW

- GENERAL NOTES
- FIELD VERIFY ALL DIMENSIONS.
 - ALL IMPROVEMENTS SHALL COMPLY WITH GOVERNING CODES. CONTRACTOR IS RESPONSIBLE FOR FILING FOR ALL REQUIRED PERMITS AND INSPECTIONS WITH ALL APPLICABLE AGENCIES.
 - PROVIDE FIRE RETARDANT TREATED PLYWOOD BACKING FOR ALL SURFACE MOUNTED ACCESSORIES, IE: TP, HOLDER, MIRRORS, TOWEL BARS, GRAB BARS, KITCHEN EQUIPMENT, CABINETS ETC. AS REQUIRED.
 - SCREW ALL SHEET ROCK. NO NAILS ALLOWED.
 - IT IS BEYOND THE SCOPE OF THIS DRAWING TO SHOW ALL AND EVERY DETAIL AND ASPECT OF EXISTING CONDITIONS. CONTRACTOR SHOULD FIELD VERIFY ALL EXISTING CONDITIONS.
 - IT SHALL BE THE G.C.'S RESPONSIBILITY TO PROTECT ANY AND ALL ITEMS TO REMAIN AND REPAIR OR REPLACE SUCH ITEMS SHOULD THEY GET DAMAGED BY THE CONTRACTOR'S NEGLIGENCE.
 - ALL NEW DIMENSIONS ARE TO FACE OF WALL AND TO FACE OF CONCRETE BLOCK OR BRICK.
 - (E) = EXISTING, (N) NEW
 - COORDINATE W/ LANDLORD FOR ALL ROOF PENETRATIONS. G.C. SHALL USE LANDLORD'S ROOFING CONTRACTOR FOR ALL ROOF MEMBRANE, PATCHES, REPAIR & PENETRATIONS.
 - ALL DOOR HARDWARE SHALL BE LEVEL TYPE ADA STANDARD.

COVER SHEET, PROJECT DATA, FLOOR PLAN
SCALE: AS NOTED

DATE: 06/17/14
SHEET: A1-01

TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106



LOWER ROOF PLAN

A2
A1-01

SCALE: 1/8"=1'-0"

TROLLEY WING COMPANY

CONDITIONAL USE APPLICATION

2148 SOUTH 900 EAST
SALT LAKE CITY, UTAH 84106

BUILDING INFORMATION:

CONSTRUCTION TYPE: III-B
FIRE SPRINKLER: Yes
ZONING: CB
PARKING: Existing

EXISTING BUILDING AREA: 12,716 GSF
TENANT SPACE AREA: 1,976 GSF
Occupancy Separation: Not Required

BUILDING CODE REVIEW:

Tenant Space Area: 1976 sq ft.
Roof Patio Area: 480 sq ft.
Occupant load factor: 15 SF NET / person @ ASSEMBLY
200 SF GROSS/ person @ WORK AREA & KITCHEN
Occupant load: 96 Occupants
Occupancy: A-2
Occupancy Separation: NONE

EGRESS REQUIREMENTS:

of exits required (Table 1021.2): 2 exits required w/ 200' max travel distance.
of exits provided: 2 exits provided w/ travel distance less than 200'
Door opening width required: 0.20' x 96" = 19.2"
Door opening width provided: 2 @ 3'-0" = 72"

OCCUPANT LOAD CALCULATION:

AREA	OCCUPANT
SEATING AREA: 885 SF / 15 SF PER OCC.	59
ROOF PATIO SEATING AREA: 480 SF / 15 SF PER OCC.	32
KITCHEN/WORK AREA: 1,000 SF / 200 SF PER OCC.	5
TOTAL OCCUPANTS	96

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES:

- a) Water Closets (Male/Female) - Required 1/1 Provided 3/3
b) Lavatories (Male/Female) - Required 1/1 Provided 2/2
c) Bath Tubs or Showers: 0
d) Drinking Fountains: 2 Service Sinks: 1

PROJECT LOCATION

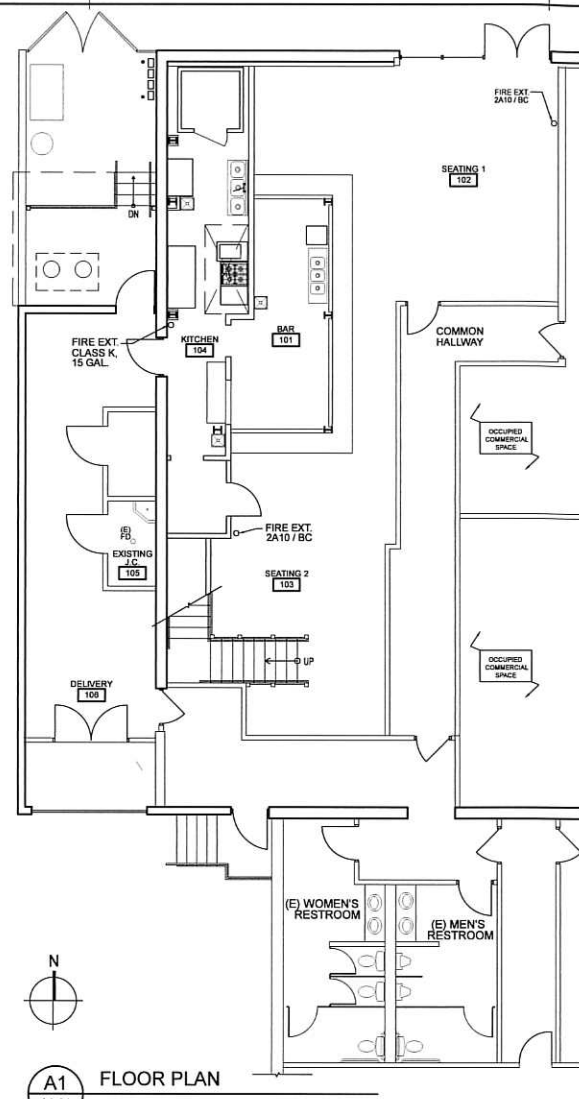


VICINITY MAP

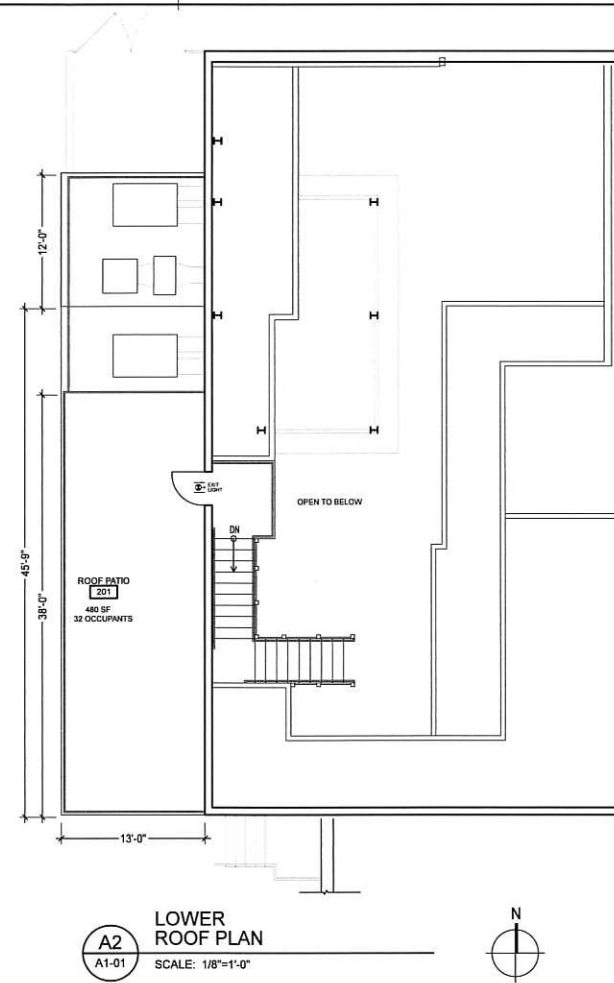
Applicable Codes:	
2012 IBC	International Building Code
2012 IMC	International Mechanical Code
2012 IPC	International Plumbing Code
2011 NEC	National Electric Code
2012 IFC	International Fire Code
2009 IECC	International Energy Conservation Code
2009 IEBC	International Existing Building Code
ADA	ANSI A117.1 - 2009
Zoning Ordinance	SALT LAKE CITY Title 21 Zoning Ordinance

OWNER

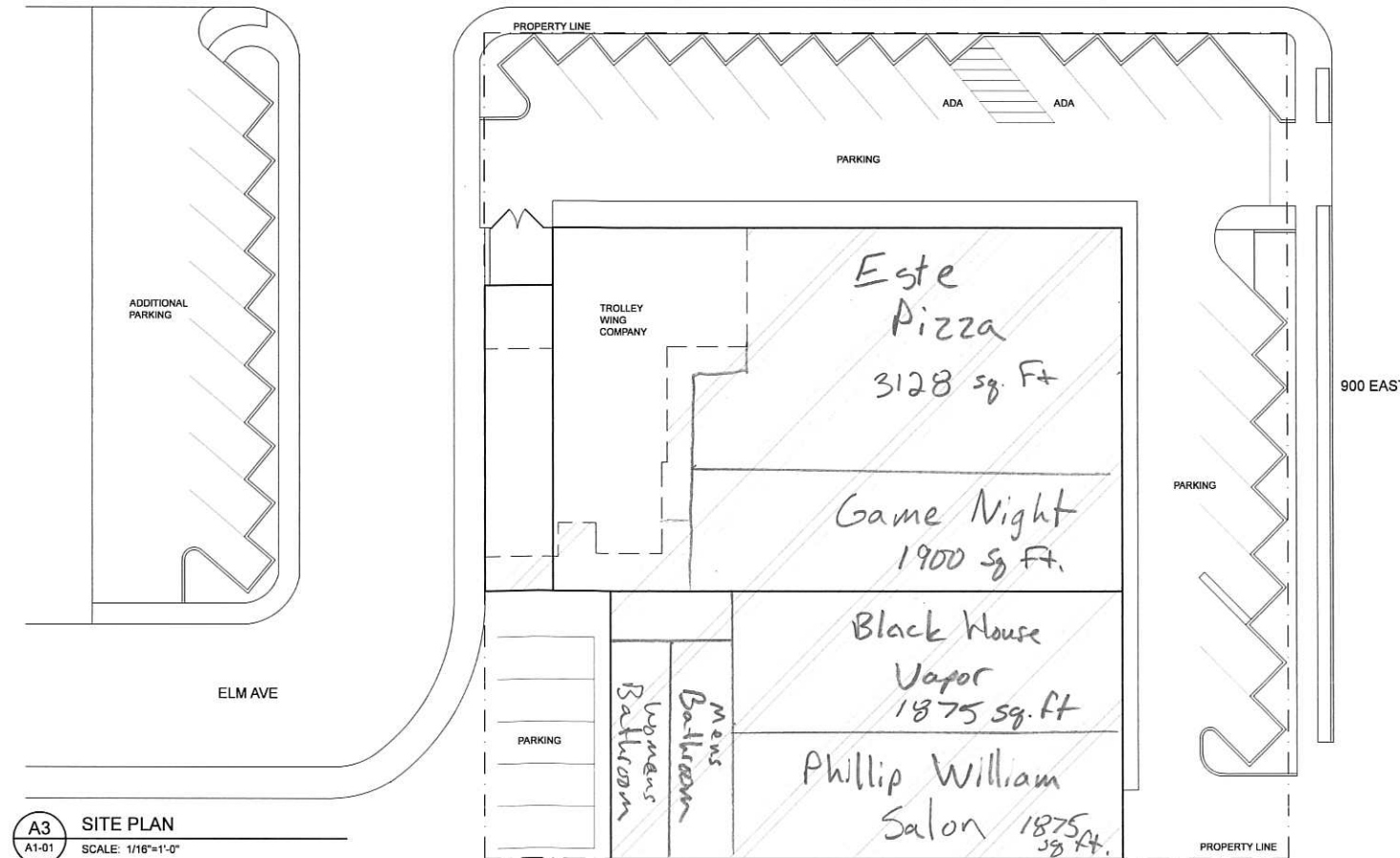
JESS WILKERSON
2148 South 900 East
Salt Lake City, Utah 84106
Tel. (801) 599-6065



A1 FLOOR PLAN
A1-01 SCALE: 1/8"=1'-0"



A2 LOWER ROOF PLAN
A1-01 SCALE: 1/8"=1'-0"



A3 SITE PLAN
A1-01 SCALE: 1/16"=1'-0"

REFERENCE NOTES

1. NOTE

SYMBOL LEGEND

- (E) EXTERIOR WALL
- (E) INTERIOR WALL
- (E) EXISTING
- (N) NEW

STAMP

REVISIONS:

PROJECT DATA, FLOOR PLAN, SITE PLAN
SCALE: AS NOTED

DATE:
02/03/16

SHEET:
A1-01

TROLLEY WING COMPANY - ROOF PATIO ADDITION
2148 SOUTH 900 EAST SALT LAKE CITY, UTAH 84106